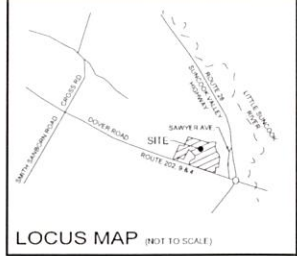


# SITE DEVELOPMENT PLAN COUNTRY CAMPER SITE PLAN 1988 DOVER ROAD - EPSOM NH



**PLAN REFERENCES:**

- 1.) LOT LINE ADJUSTMENT & SUBDIVISION PLAN FOR CORRIESTONE PROPERTIES OF EPSOM, LLC, TAX MAP U6 LOTS 82 & 82-1, ROUTE 28 - 1033 SUNCOCK VALLEY HIGHWAY, EPSOM, NEW HAMPSHIRE, LAST REVISED 10/15/2008, PREPARED BY THIS OFFICE, MCRD PLAN #19447.
- 2.) SUBDIVISION PLAN FOR CORRIESTONE PROPERTIES OF EPSOM, LLC, TAX MAP U6 LOTS 28 - SUNCOCK VALLEY HIGHWAY, EPSOM, NEW HAMPSHIRE, LAST REVISED 12/27/2010, PREPARED BY THIS OFFICE, MCRD PLAN #19448.
- 3.) LOT LINE ADJUSTMENT & SUBDIVISION PLAN FOR CORRIESTONE PROPERTIES OF EPSOM, LLC, TIM U6 LOT 82-3 ON RTE. 28/SUNCOCK VALLEY HWY., STEPHEN T. A. FLEET, J. DESTE FAND, TIM U6 LOT 82-1 ON RTE. 28/SUNCOCK VALLEY HWY., EPSOM, NEW HAMPSHIRE, DATED JULY 18, 2013, LAST REVISED 9/26/15, PREPARED BY THIS OFFICE, MCRD PLAN #20160018099.
- 4.) EPSOM MEDICAL CENTER, DOVER ROAD, US ROUTE 4, 202 & NH ROUTE 9, EPSOM, N.H. 03234, CORRECTIVE LOT LINE PLAN, ASSESSORS MAP U6, LOTS 16, 17 & 18, DATED 7/7/2009, PREPARED BY MAFSLAND JOHNSON, MCRD PLAN #19341.
- 5.) LOT LINE ADJUSTMENT PLAN FOR GSD PROPERTIES, LLC, TAX MAP U6 LOT 19 - 1988 DOVER ROAD, C/O THE REAL ESTATE ASSOCIATES, TAX MAP U6 LOT 19 - DOVER ROAD, EPSOM, NEW HAMPSHIRE, DATED FEBRUARY 4, 2019, PREPARED BY THIS OFFICE, NOT YET RECORDED.

**LIST OF DRAWINGS**

DWG NO	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS / BOUNDARY PLAN
3	SITE PLAN
4	GRADING DRAINAGE EROSION CONTROL PLANS
5	LANDSCAPE LIGHTING
6	DRIVEWAY PROFILES
7-10A	CONSTRUCTION & EROSION CONTROL DETAILS

**NOTES :**

1. THE PURPOSE OF THIS PLAN IS TO SHOW IMPROVEMENTS FOR A PROPOSED CAMPER SALES AND STORAGE FACILITY ALONG WITH THE ASSOCIATED SITE IMPROVEMENTS.
2. OWNER OF RECORD: 898 DOVER ROAD NH REAL ESTATE HOLDINGS, LLC, 1988 DOVER ROAD EPSOM, NH 03234
3. REED REFERENCE TO SUBJECT PARCEL IS BOOK 3675, PAGE 2859 MCRD.
4. THE SUBJECT PROPERTY IS REFERENCED AS MAP U6, LOT 18 ON THE EPSOM NH TAX MAPS.
5. THE TOTAL PROPERTY AREA IS 180,669 SQ. FT. 4.1476 ACRES.
6. THE SUBJECT PARCEL IS ZONED RESIDENTIAL / COMMERCIAL. ZONING REQUIREMENTS ARE AS FOLLOWS:  
MINIMUM LOT SIZE = 2.0 ACRES  
MINIMUM FRONTAGE = 200 FT  
FRONT BUILDING SETBACK = 50 FT  
SIDE BUILDING SETBACK = 15 FT  
REAR BUILDING SETBACK = 20 FT.
7. PROPERTY BOUNDARIES AND TOPOGRAPHY SHOWN HEREON PROVIDED BY JOSEPH M. WECHERT, INC., LICENSED LAND SURVEYOR, MANCHESTER, NH.
8. WETLANDS WERE DELINEATED USING STANDARDS AND METHODOLOGY APPROVED BY THE ARMY CORPS OF ENGINEERS AND THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WETLANDS BUREAU. WETLANDS WERE DELINEATED ON SEPTEMBER 28, 2018 BY ARON WECHLER, CWS #250, FROM ASPEN ENVIRONMENTAL CONSULTANTS, LLC LIMITED TO WETLANDS FLAGGED IN 2018 ONLY.
9. THE PARCEL SHALL BE SERVICED BY AN INDIVIDUAL SEPTIC SYSTEM FOR THE OFFICE AND SPORTS CENTER, AN ARTESIAN WELL, AND UNDERGROUND UTILITY CONNECTIONS FOR ELEC., TEL, CABLE.
10. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBL STRUCTURES (CATCH BASINS, MANHOLES, WATERGATES, ETC) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. CONTRACTOR TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY DIG SAFE 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES (1-800-344-7233).
11. THE TOTAL AREA OF DISTURBANCE FOR THE CONSTRUCTION OF THE SITE IMPROVEMENTS IS APPROXIMATELY 38,000 SQ. FT. ALL NON-PAVED AREAS ARE TO BE GRADED AND SEDED AND STABILIZED. FOR ANY CONSTRUCTION DISTURBANCE GREATER THAN 1 ACRE, THE CONTRACTOR IS RESPONSIBLE TO FILE A NOTICE OF INTENT (NOI) WITH THE USE PA. UNDER THE NOIS CONSTRUCTION GENERAL PERMIT 14 DAYS PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR IMPAIRING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE FEDERAL STORMWATER PERMIT REQUIREMENTS. THE SWPPP SHALL ALSO BE PROVIDED PRIOR TO THE START OF CONSTRUCTION.
12. ALL WORK SHALL CONFORM WITH NOIS SPECIFICATIONS OR TOWN REQUIREMENTS, WHICHEVER ARE MORE STRINGENT.
13. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL WORK AREAS AT ALL TIMES.
14. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
15. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NOIS STANDARDS.
16. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING FLOW TO THEM.
17. THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE. THIS PROJECT WILL NOT REQUIRE ENVIRONMENTAL MONITORING DURING CONSTRUCTION.

**NEW HAMPSHIRE FISH AND GAME NOTES :**

**NEW HAMPSHIRE FISH AND GAME ADT PERMIT CONDITIONS RELATED TO THREATENED AND ENDANGERED SPECIES**

- THERE IS THE POTENTIAL FOR BLANDING'S TURTLES (STATE ENDANGERED) AND SPOTTED TURTLES (STATE THREATENED) AND NORTHERN BLACK RACER (SNARE, STATE THREATENED) TO BE FOUND WITHIN THE PROJECT AREA. SITE OPERATORS SHALL BE PROVIDED FLYERS FOR SPECIES IDENTIFICATION AND NHIG CONTACT INFORMATION SHOULD ONE OF THESE SPECIES BE OBSERVED WITHIN THE PROJECT AREA. SEE SITE PLAN "OFFICE AND CAMPER SITE FACILITY" TAX MAP U6 LOT 18 EPSOM NH FOR SPECIES AND NHIG CONTACT INFORMATION. FLYERS ATTACHED TO SHEET 10A.
- ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, EXCEPT FOR SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SOPE INTERUPTION, PERIMETER CONTROL, SILET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH. SEE PLAN SHEETS 7-10 FOR SPECS.
- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2463 AND BY EMAIL AT NHIGREVIEW@WILDLIFE.NH.GOV. <MAIL TO NHIGREVIEW@WILDLIFE.NH.GOV>. EMAIL SUBJECT LINE: NHIG-3452, OFFICE AND CAMPER SITE FACILITY, WILDLIFE SPECIES OBSERVATION. PHOTOGRAPHS SHALL BE PROVIDED FOR VERIFICATION AS FEASIBLE.
- THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.



CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. SOME CONSULTING, LLC MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND PRIOR TO ANY EXCAVATION ON SITE. THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-800-DIG-SAFE.

*LIST OF ADDITIONAL CONSULTANTS*

<b>LAND SURVEYOR</b> JOSEPH M. WECHERT, L.L.S. INC. 802 AMHERST STREET MANCHESTER, NH 03104 Phone: (603) 647-4282	<b>WETLANDS AND SOIL SCIENTIST</b> ARON WECHLER ASPEN ENVIRONMENTAL AT LIBERTY HILL ROAD BUILDING 2, UNIT 201 HENNINGER, NH 03242 603) 848-5606
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Owner :  
988 DOVER ROAD NH REAL ESTATE, LLC  
1988 DOVER ROAD  
EPSOM, NH 03234

GRADING DRAINAGE AND EROSION CONTROL PLAN  
PROPOSED OFFICE AND CAMPER SALES FACILITY  
TAX MAP U6 LOT 18  
1988 DOVER ROAD  
EPSOM, NEW HAMPSHIRE

REVISIONS			
DATE	DESCRIPTION	DWN. BY	CHK BY
04/28/21	NHIGS Agt COMMENT	BT	JR
05/21/21	NHIGS Agt COMMENT	BT	JR
8/3/21	EDITS PER FISH AND GAME	BT	JR

**Rokeh Consulting, LLC**  
89 KING ROAD, CHICHESTER, NH  
PH: 603-387-8688

SCALE: 1" = 40'  
DATE: JANUARY 12, 2021  
DR. BY: JR CK. BY: JR  
JOB NO: \_\_\_\_\_  
SHEET NO. 1 OF 10

**PLAN REFERENCES:**

- 1) LOT LINE ADJUSTMENT & SUBDIVISION PLAN FOR CORNELLSTONE PROPERTIES OF EPSOM, LLC, TAX MAP U6, LOTS 82 & 83, ROUTE 28 - 1033 SUNCOCK VALLEY HIGHWAY, EPSOM, NEW HAMPSHIRE, LAST REVISED 10/15/2008, PREPARED BY THIS OFFICE, MOED PLAN #10447.
- 2) SUBDIVISION PLAN FOR CORNELLSTONE PROPERTIES OF EPSOM, LLC, TAX MAP U6, LOTS 80-81, RTE. 28 - SUNCOCK VALLEY HIGHWAY, EPSOM, NEW HAMPSHIRE, LAST REVISED 3/22/2010, PREPARED BY THIS OFFICE, MOED PLAN #18448.
- 3) LOT LINE ADJUSTMENT & SUBDIVISION PLAN FOR CORNELLSTONE PROPERTIES OF EPSOM, LLC, TAX MAP U6, LOTS 80-81, 82 & 83, SUNCOCK VALLEY HIGHWAY, STEPHEN T. KELLEN & DEBRA J. DEFRANCO, TAX MAP U6, LOTS 80-81, SUNCOCK VALLEY HIGHWAY, EPSOM, NEW HAMPSHIRE, DATED JULY 18, 2013, LAST REVISED 9/25/2016, PREPARED BY THIS OFFICE, MOED PLAN #20018889.
- 4) EPSOM MEDICAL CENTER, DOVER ROAD, US ROUTES 4, 202 & NH ROUTE 9, EPSOM, NH. COMM. CORRECTIVE LOT LINE PLAN, ASSOCIATES MAP # U6, LOTS 16, 17 & 18, DATED 7/17/2009, PREPARED BY MAFAIR AND JOHNSON MOED PLAN #18341.
- 5) LOT LINE ADJUSTMENT PLAN FOR GSD PROPERTIES, LLC, TAX MAP U6, LOT 19, 1988 DOVER ROAD, CENTRAL ESTATE ASSOCIATES, TAX MAP U6, LOT 19 - DOVER ROAD, EPSOM, NEW HAMPSHIRE, DATED DECEMBER 4, 2019, PREPARED BY THIS OFFICE, NOT YET RECORDED.

**Soils Legend**

- 26 Windsor
- 313 Deerfield
- 315 Mashpee
- 299a) b) udorthents, smoothed, D slope / (a) excessively drained, (b) glacio-fluvial deposits parent material, (a) no restrictive layer, (a) Ksat estimated as High, (a) Hydrologic Soil Group estimated as A.
- 299a) h) udorthents, smoothed, A slope / (h) drainage class not determined, (a) no natural soil within 60", (a) no restrictive/impervious layers, (d) Ksat not determined, (d) Hydrologic Soil Group estimated as A.
- 350a) b) udorthents, well substratum, A slope / (d) moderately well drained, (d) glacio-fluvial deposits parent material, (a) no restrictive layer, (d) estimated Ksat not determined, (a) Hydrologic Soil Group estimated as A.
- 350a) d) udorthents, well substratum, A slope / (d) moderately well drained, (b) glacio-fluvial deposits parent material, (a) no restrictive layer, (d) Ksat not determined, (d) Hydrologic soil group estimated as D.

- Slope Key**
- A 0 - 3%
  - B 3 - 8%
  - C 8 - 15%
  - D 15 - 25%
  - E 25 - 50%
  - F 50% +

This map product is within the technical standards of the National Cooperative Soil Survey. It is a special purpose product intended for support engineering and permitting for site development. It was produced by a soil scientist, and is not a product of the USDA National Resource Conservation Service. There is a report that accompanies this map.

Field work was conducted on October 27-28, 2020 and April 15, 2021 by Luke Powell, NH Certified Soil Scientist No. 81, according to the standards published in Site-Specific Soils Mapping Standards for New Hampshire and Vermont, Society of Soil Scientists of Northern New England Special Publication No. 3, Version 5.0.

**WETLANDS NOTE:**

WETLANDS WERE DELINEATED USING STANDARDS AND METHODOLOGY APPROVED BY THE ARMY CORPS OF ENGINEERS AND THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WETLANDS BUREAU. WETLANDS WERE DELINEATED ON SEPTEMBER 28, 2019 BY AARON WEICHLER, CWS #250 FROM ASPEN ENVIRONMENTAL CONSULTANTS, LLC. LIMITED TO WETLANDS FLAGGED IN 2019 ONLY.

I CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE WITH A TOPCON GTS-3, THE #ROR OF CLOSURE ON ALL LOT LINE WITHIN AND BORDERING THE SUBJECT PROPERTY IS BETTER THAN 1 IN 10,000.

I CERTIFY THAT THIS SURVEY IS NOT A SUPERVISION FORNIGHT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT A COPY OF THIS PLAN HAS BEEN FILED WITH THE EPSOM PLANNING BOARD IN ACCORDANCE WITH RSA 678:103V.

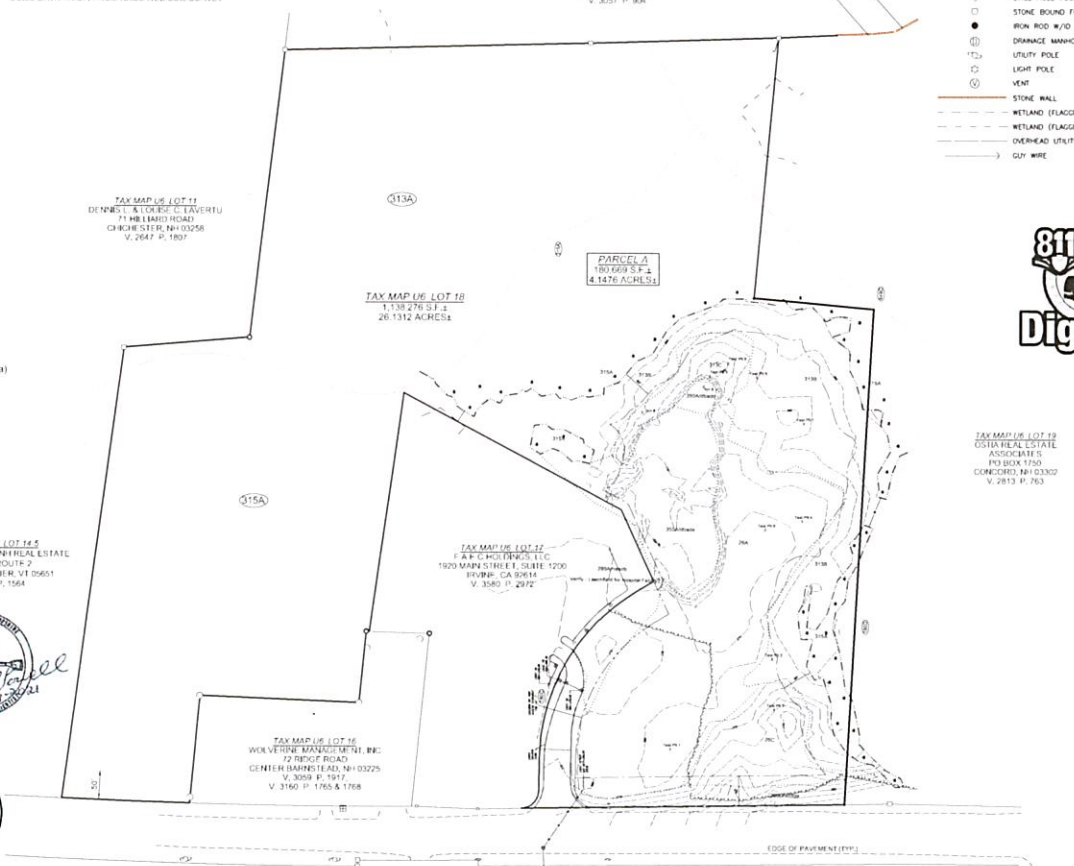
DATE: \_\_\_\_\_



**SOILS DATA**

190C - WINDSOR-HOLLIS COMPLEX, 8 TO 15% SLOPES, VERY ROCKY  
190D - WINDSOR-HOLLIS COMPLEX, 15 TO 35% SLOPES, VERY ROCKY  
260D - CHATFIELD MONTAUK-HOLLIS COMPLEX, 15 TO 35% SLOPES, VERY ROCKY  
315A - UDE (LW) UD (LW) (LW) (LW) SAND, 0 TO 3% SLOPES  
315A - MASHPEE SAND, 0 TO 5% SLOPES  
419C - SCLUATE FINE SANDY, 8 TO 15% SLOPES, VERY STONY

SOILS DATA TAKEN FROM NRCS WEB SOIL SURVEY



**DOVER ROAD**  
US RTE. 202 & 4, NH RTE. 9  
VARIABLE WIDTH R.O.W.

TAX MAP U6 LOT 11 DENNETT & LOISELLE TAVERNIER 71 HILBARD ROAD CHICHESTER, NH 03258 V. 2647 P. 1807

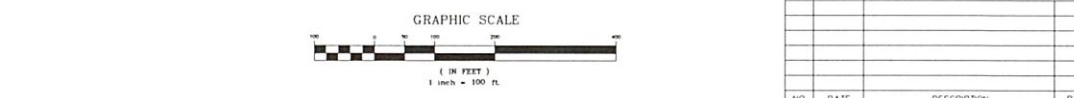
TAX MAP U6 LOT 16 WOLVERINE MANAGEMENT, INC. 72 ROOF ROAD CENTER BARNSTEAD, NH 03225 V. 3160 P. 1717

TAX MAP U6 LOT 6 CHARLES A. TRICKS 515 4TH PARK DRIVE PEPPERWICK, NH 03275 FROGATE

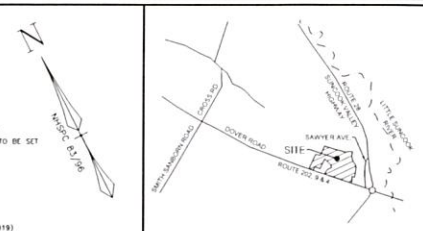
TAX MAP U6 LOT 2 DAVID A. & KATHLEEN D. GRIMMERY 2025 DOWER ROAD EPSOM, NH 03224 V. 2432 P. 1992

TAX MAP U6 LOT 4 SUNCOCK HIGHWAY ASSOC., LLC 30 GREEN STREET LAWRENCE, MA 01843 V. 3161 P. 417

TAX MAP U6 LOT 11 SUNCOCK HIGHWAY ASSOC., LLC 30 GREEN STREET LAWRENCE, MA 01843 V. 3161 P. 432



- SYMBOL LEGEND**
- IRON ROD FOUND
  - IRON PIPE FOUND
  - DRILL HOLE FOUND
  - STONE FOUND FOUND
  - IRON ROD #10/ CAP TO BE SET
  - DRAINAGE MANHOLE
  - UTILITY POLE
  - LIGHT POLE
  - VENT
  - STONE WALL
  - - - WETLAND (FLAGGED 2019)
  - - - WETLAND (FLAGGED 2016)
  - - - OVERHEAD UTILITY LINE
  - GUY WIRE



- NOTES:**
- 1) THE SUBJECT PARCEL IS LOT 18 ON THE TOWN OF EPSOM TAX MAP U6. THE OWNER OF RECORD GSD PROPERTIES, LLC OF 1792 MONK'S CORNER, THE VILLAGES, FL 32162. SEE MOED V. 2805, P. 358 & V. XXXX P. XXX, PARCEL A UHF-D.
  - 2) THE SUBJECT PARCEL IS ZONED RESIDENTIAL COMMERCIAL (R/C). MINIMUM LOT SIZE IS 87,120 SQ. FT., MINIMUM LOT FRONTAGE = 200'. SETBACKS ARE AS FOLLOWS: FRONT = 50', SIDE = 15' AND REAR = 20'. WETLAND SETBACK = 50'. THE SETBACKS SHOWN ARE FOR REFERENCE ONLY AND NEED TO BE VERIFIED WITH THE ZONING COMPLIANCE OFFICER.
  - 3) THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN NOVEMBER AND DECEMBER OF 2019. I, JOSEPH M. WICHERT, NH REG. #793, CERTIFY THAT THE WORK WAS PERFORMED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
  - 4) THE BOUNDARY OF THIS PLAN IS TO SHOW THE BOUNDARY OF THE SUBJECT PARCEL AND THE EXISTING CONDITIONS ON IT.
  - 5) THE SUBJECT PARCEL IS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MERRIMACK COUNTY, NEW HAMPSHIRE, MAP NUMBER 330130576E, EFFECTIVE DATE APRIL 19, 2010).
  - 6) THE VERTICAL DATUM IS NAVD 1988. THE HORIZONTAL DATUM IS NAD 83. THE HORIZONTAL AND VERTICAL DATUM WERE ESTABLISHED USING GPS OBSERVATIONS BY THIS OFFICE IN NOVEMBER OF 2007.
  - 7) THE UTILITY INFORMATION SHOWN IS BASED ON THE ABOVE GROUND LOCATION OF VISIBLE UTILITIES. THE CONTRACTOR NEEDS TO FIELD VERIFY ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THIS OFFICE DOES NOT GUARANTEE THE LOCATION AND ACCURACY OF THE UTILITY DATA. DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION. (811)

**EXISTING CONDITIONS PLAN FOR GSD PROPERTIES, LLC**  
TAX MAP U6 LOT 18  
1988 DOVER ROAD  
EPSOM, NEW HAMPSHIRE  
DATE: FEBRUARY 14, 2020 SCALE: 1" = 100'

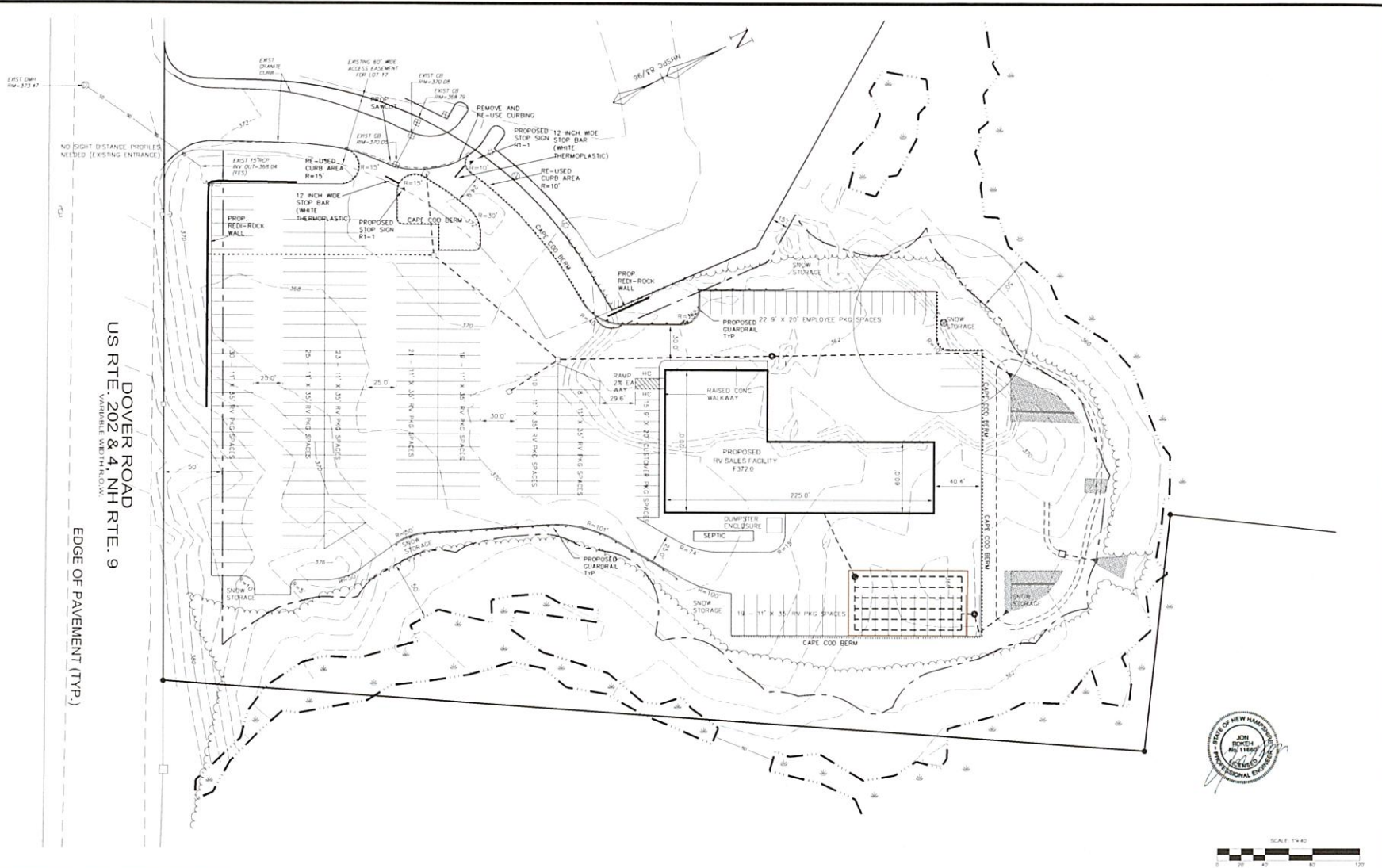
**EXISTING CONDITIONS PLAN BY:**

807 AMHERST STREET  
MANCHESTER, NH 03104  
TEL: (603) 647-4282 OR 736-8203  
FAX: (603) 623-1910  
WEB: WWW.JMWLLS.COM

**Joseph M. Wichert**  
LLS, INC.

**LAND SURVEYOR & SEPTIC SYSTEM DESIGNER**

NO.	DATE	DESCRIPTION	BY
SHEET S1	SHEET 1 OF 1		F.B. - P. JOB #2005130



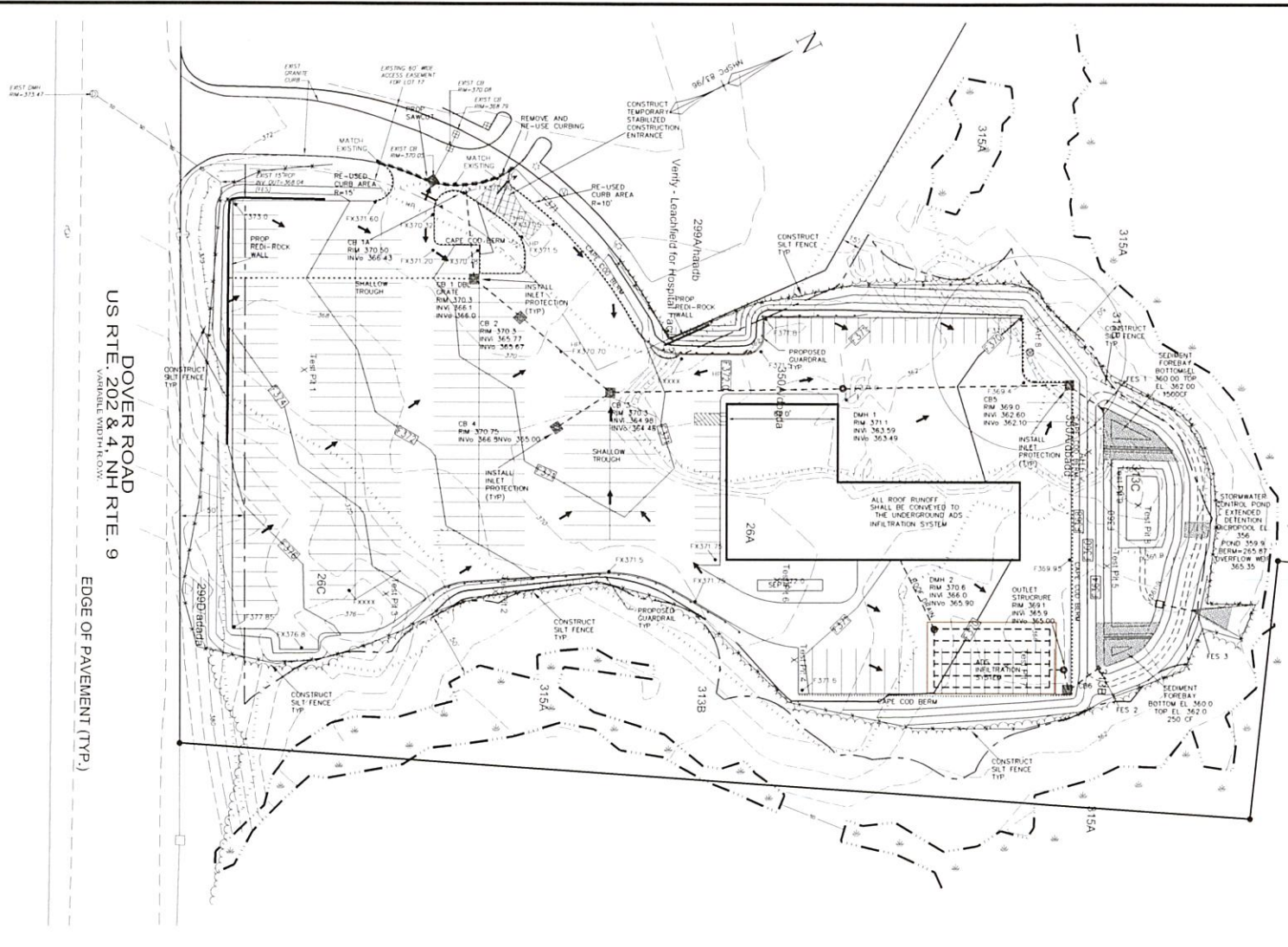
Owner :  
 988 DOVER ROAD NH REAL ESTATE, LLC  
 1988 DOVER ROAD  
 EPSOM, NH 03234

SITE PLAN  
 PROPOSED OFFICE AND CAMPER SALES FACILITY  
 TAX MAP U6 LOT 18  
 1988 DOVER ROAD  
 EPSOM, NEW HAMPSHIRE

REVISIONS		OWN BY	CK BY
DATE	DESCRIPTION		
04/28/21	NHDES A-1 COMMENT	BT	JR
05/21/21	NHDES A-1 COMMENT	BT	JR

Rokeh Consulting, LLC  
 89 KING ROAD, CHICHESTER, NH  
 PH: 603-387-8688

SCALE: 1" = 40'  
 DATE: JANUARY 12, 2021  
 DR BY: JR CK BY: JR  
 JOB NO: \_\_\_\_\_  
 SHEET NO: 3 OF 10



Owner :  
 988 DOVER ROAD NH REAL ESTATE, LLC  
 1988 DOVER ROAD  
 EPSOM, NH 03234

GRADING DRAINAGE AND EROSION CONTROL PLAN  
 PROPOSED OFFICE AND CAMPER SALES FACILITY  
 TAX MAP U6 LOT 18  
 DOVER ROAD  
 EPSOM, NEW HAMPSHIRE

REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY
04/28/21	NHDES A&T COMMENT	BT	JR
05/21/21	NHDES A&T COMMENT	BT	JR

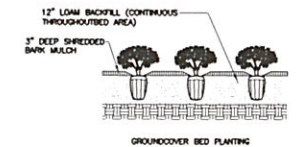
Rokeh Consulting, LLC  
 89 KING ROAD, CHICHESTER, NH  
 PH: 603-387-8688

SCALE: 1" = 40'  
 DATE: JANUARY 12, 2021  
 DR BY: JR CK BY: JR  
 JOB NO: \_\_\_\_\_  
 SHEET NO: 4 OF 10

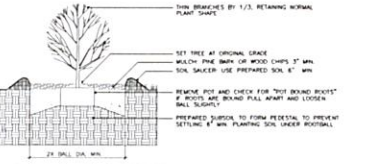
PLANT SCHEDULE

LARGE, DECIDUOUS CANOPY TREES				
CR	4	GRAY DOGWOOD	CORNUS RALCOSA 2 1/2" - 3" CAL @ 4" ABOVE GROUND	B & B
FP	3	GREEN ASH	FRAXINUS PENNSYLVANICA 2 1/2" - 3" CAL @ 4" ABOVE GROUND	B & B
LOW, DECIDUOUS SHRUBS				
TH	7	TAXUS MEDIA HICKS	HICKS YEW 35"	B & B
PJM	4	RHOODENERON	PJM RHOODENERON 24"	B & B
JH	8	JUNIPERUS "HETZ"	HETZ JUNIPER 36"	B & B
PERENNIALS				
DL	34	HEMEROCALLIS (HAPPY RETURNS)	DAILEY	#1GAL BUCKET
SD	33	SEDUM (AUTUMN JOY)	AUTUMN JOY SEDUM	#1GAL BUCKET

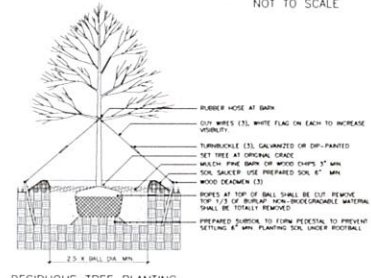
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- DL
- SD



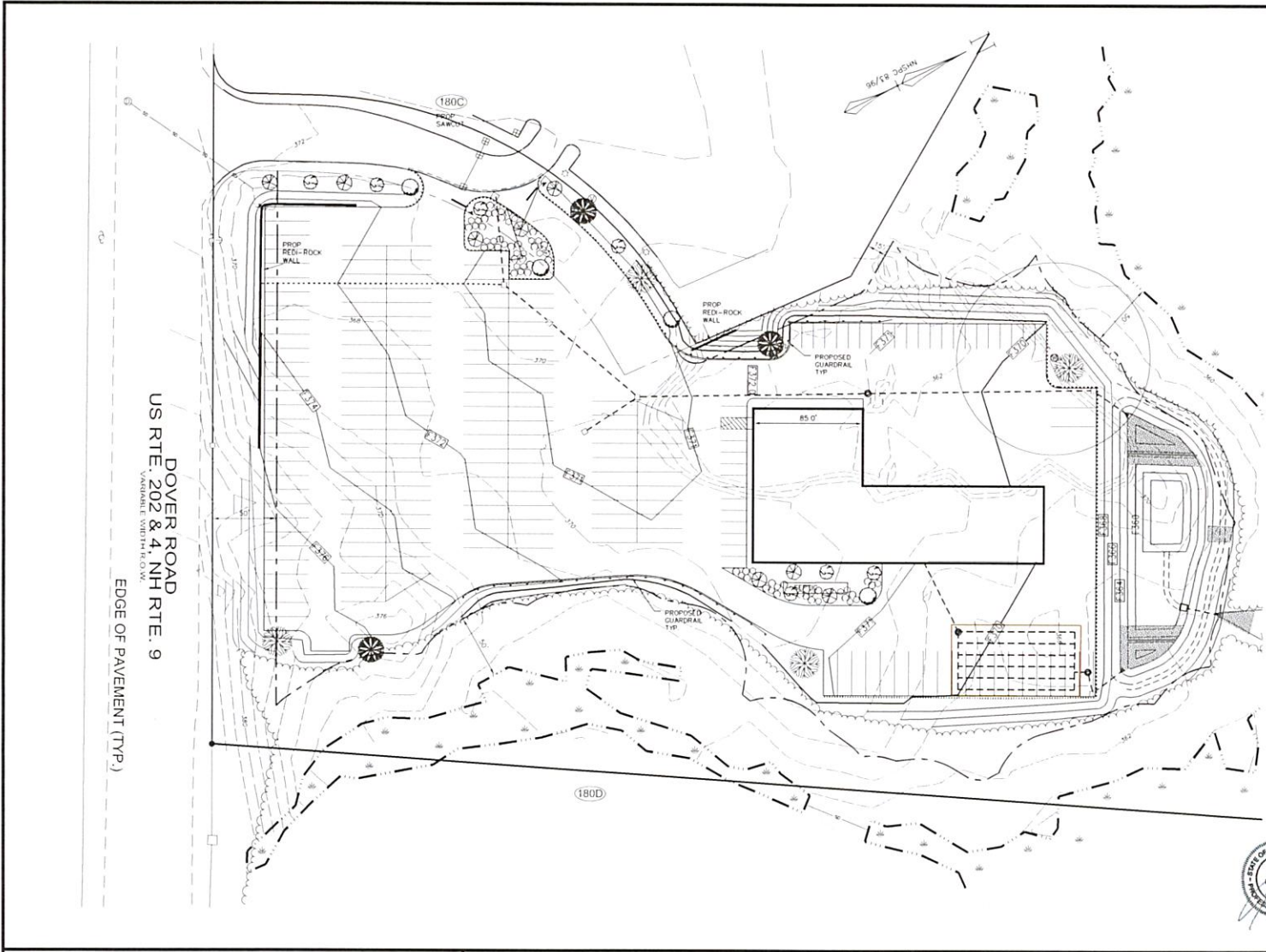
- NOTES
- CLIPPING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF CLIPPING AND STAKING.
  - TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
  - ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
  - TREE SHALL BE SET PLUMED AFTER SETTLEMENT.
  - MINIMUM 4" LOAM AND SEED IN LANDSCAPE AREAS.



SHRUB PLANTING - POTTED NOT TO SCALE



DECIDUOUS TREE PLANTING NOT TO SCALE



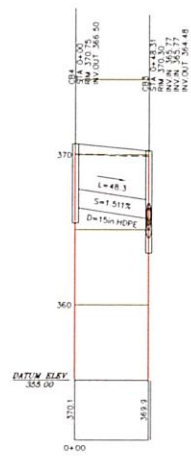
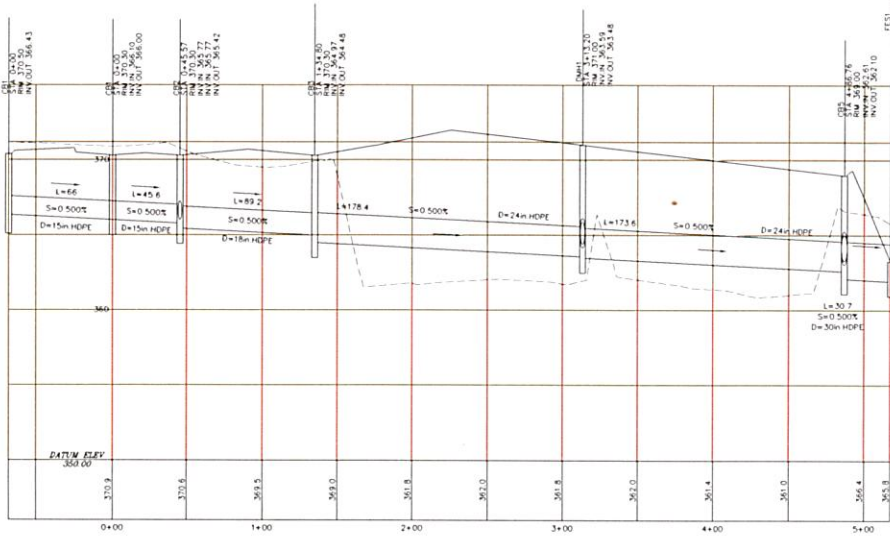
Owner :  
988 DOVER ROAD NH REAL ESTATE, LLC  
1988 DOVER ROAD  
EPSOM, NH 03234

GRADING DRAINAGE AND EROSION CONTROL PLAN  
PROPOSED OFFICE AND CAMPER SALES FACILITY  
TAX MAP U6 LOT 18  
DOVER ROAD  
EPSOM, NEW HAMPSHIRE

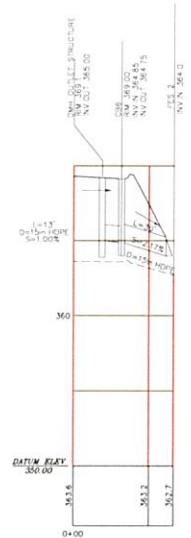
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DATE	DESCRIPTION	DWN BY	CK BY
04/28/21	NHDES A&I COMMENT	BT	JR
05/21/21	NHDES A&I COMMENT	BT	JR

Rokeh Consulting, LLC  
89 KING ROAD, CHICHESTER, NH  
PH: 603-387-8688

SCALE: 1" = 40'  
DATE: JANUARY 12, 2021  
DR BY: JR CK BY: JR  
JOB NO: \_\_\_\_\_  
SHEET NO: 5 OF 10

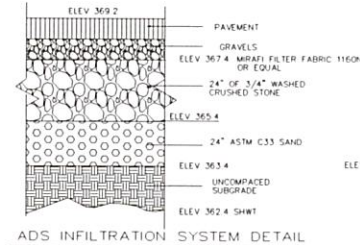
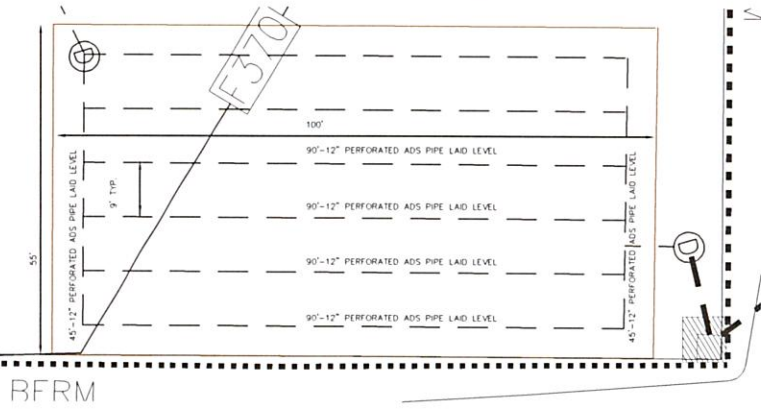


CB4 TO CB 3

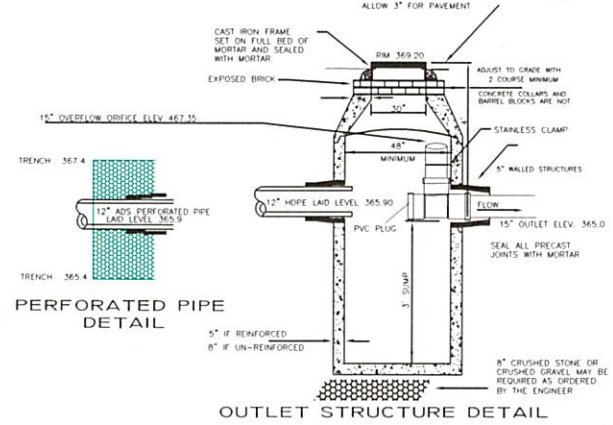


OUTLET STRUCTURE- CB6 TO FES 2

CB1A-FES 1



ADS INFILTRATION SYSTEM DETAIL



OUTLET STRUCTURE DETAIL



ADAPTERINSTALL STABILIZATION FABRIC ON TOP OF THE 6" OF SYSTEM SAND OVER THE PRESBY PIPES FABRIC TO HAVE A "GRAB TENSILE STRENGTH OF 315 LBS PER ASTM D 4632"



Owner :  
988 DOVER ROAD NH REAL ESTATE, LLC  
1988 DOVER ROAD  
EPSOM, NH 03234

DRAINAGE PROFILES AND DETAILS  
PROPOSED OFFICE AND CAMPER SALES FACILITY  
TAX MAP U6 LOT 18  
DOVER ROAD  
EPSOM, NEW HAMPSHIRE

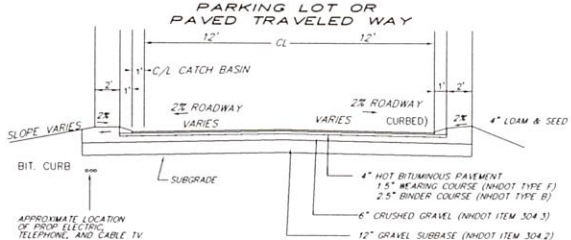
REVISIONS		DATE	DESCRIPTION	DWN BY	CK BY
04/28/21	NHDES AGT COMMENT	BT	JR		
05/21/21	NHDES AGT COMMENT	BT	JR		

Rokeh Consulting, LLC  
89 KING ROAD, CHICHESTER, NH  
PH: 603-387-8688

SCALE: 1" = 40'  
DATE: JANUARY 12, 2021  
DR BY: JR CK BY: JR  
JOB NO: \_\_\_\_\_  
SHEET NO. 6 OF 10

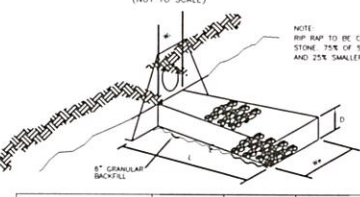
**GENERAL NOTES**

- MINIMUM ACCEPTABLE STANDARDS FOR ALL CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT), STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, (AND ALL SUBSEQUENT AMENDMENTS) AND THE TOWN OF EPSOM REGULATIONS, DRAINAGE DESIGN IS BASED ON THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK, VOLUME 1"
- ALL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY AND DRAINAGE STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO UTILIZATION OF DESIGN ELEVATIONS ON THIS PLAN.
- BACKFILL OF TRENCHES AND ALL PAVED AREAS SHALL BE COMPACTED IN ACCORDANCE WITH NH DOT STANDARD SPECIFICATIONS SECTION 304.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES AND SHALL PROVIDE ALL NECESSARY CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE AND STRENGTH TO PREVENT ACCESS TO ALL OPEN EXCAVATIONS AT THE COMPLETION OF EACH DAYS WORK.
- ALL ELEVATIONS ARE BASED ON U.S.C.S. DATUM.
- THE CONTRACTOR SHALL BE AWARE OF HIS RESPONSIBILITY TO CONTACT "TOD SAFETY" AT 311 SO. BEDEFORD STREET, BURLINGTON, MA (1-888-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
- SHOWING AND STABILING OF TRENCH SIDE WALLS DURING EXCAVATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK ADJACENT TO EXISTING ELWOOD WEST ROAD SHALL BE PERFORMED IN WITH THE STREET OPENING REQUIREMENTS OF THE TOWN OF EPSOM AND NH DOT STANDARD SPECIFICATIONS.
- ALL CULVERTS, DRAINAGE STRUCTURES AND ROAD CONSTRUCTION SHALL BE SUBJECT TO INITIAL AND FINAL INSPECTION PRIOR TO ACCEPTANCE BY THE TOWN OF EPSOM. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING INSPECTION BY THE TOWN ENGINEER.
- UTILITY PLANS SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 4" TOPSOIL AND SEED OVER ALL DISTURBED AREAS UNLESS OTHERWISE SPECIFIED.
- CORRUGATED PLASTIC PIPE (CPP) WITH SMOOTH INTERIOR - ADS N-12 OR APPROVED EQUAL MAY BE SUBSTITUTED FOR REINFORCED CONCRETE DRAINAGE PIPE (RCP) WITH APPROVAL OF THE EPSOM DEPARTMENT OF PUBLIC WORKS AND TOWN ENGINEER.
- CONCRETE END SECTIONS (FLARED ENDS) SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS, HIGHWAY DESIGN MANUAL, PLATES 5, 6, & 6, OF STANDARD 11 DATED 1979 AND ALL SUBSEQUENT AMENDMENTS.
- ALL DRIVEWAY GRADING IS SUBJECT TO DEPARTMENT OF PUBLIC WORKS REVIEW PRIOR TO DRIVEWAY CONSTRUCTION ON INDIVIDUAL LOTS. DRIVEWAY CULVERTS LOCATED OUTSIDE OF THE TOWN RIGHT OF WAY, MAY BE NECESSARY DEPENDING ON THE ACTUAL PROPOSED LOT DEVELOPMENT.
- ALL PAVEMENT MARKERS SHOWN CONFORM TO THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION.



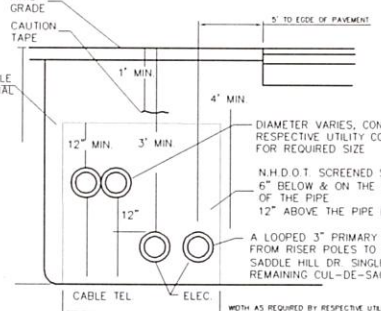
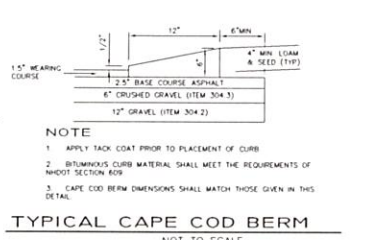
- NOTES**
- ALL ROADWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE LATEST NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2010 INCLUDING SUBSEQUENT AMENDMENTS AND EDITIONS.
  - PROVIDE 4" (MIN) COMPACTED LOAM AND SEED ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.
  - ALL LEDGE AND ROCK SHALL BE REMOVED TO 6" BELOW SUBGRADE.
  - ROADWAY UNDERDRAIN SHALL BE PROVIDED IN ALL CUT SECTIONS (AT SIDE WITH CUT) AND WHERE SEASONAL HIGH WATER IS WITHIN FOUR (4) FEET OF FINISHED GRADE IN ALL OTHER AREAS. UNDERDRAIN SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER.

**TYPICAL ROADWAY SECTION (NOT TO SCALE)**

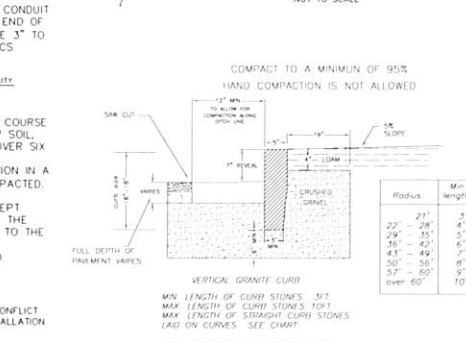
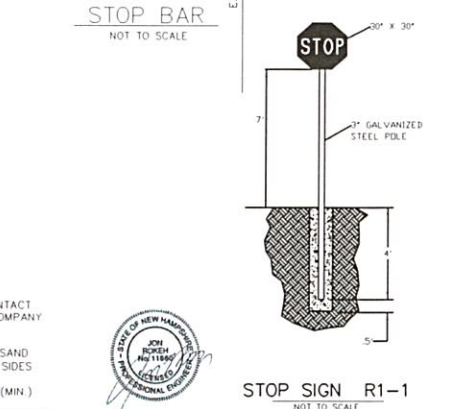
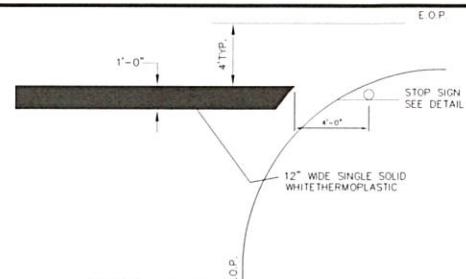


**RIP-RAP SPECIFICATIONS (NOT TO SCALE)**

DESCRIPTION	LENGTH	INVERT WIDTH	END WIDTH	STONE (SD)	DEPTH OF STONE - D
FES. 1	24'	7'	27'	6"	3"
FES. 2	11'	4'	11'	6"	1.5'
FES. 3	19'	7'	21'	6"	1.5'

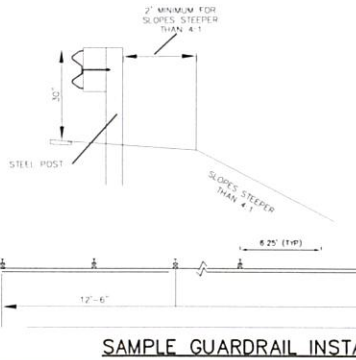


- UNDERGROUND UTILITIES TRENCH (NOT TO SCALE)**
- NOTES**
- UTILITIES SHALL BE INSTALLED ACCORDING TO THE RESPECTIVE UTILITY COMPANY STANDARDS AND SPECIFICATIONS.
  - ALL ABOVE GRADE UTILITIES MUST BE PLACED OUT OF THE R.O.W. AND IN AREAS THAT WILL NOT CONFLICT WITH THE ROADWAY DRAINAGE SYSTEM. PLACEMENT OF TRANSFORMERS CANNOT CONFLICT WITH THE INSTALLATION OF R.O.W. AND PROPERTY CORNER MONUMENTS.



**VERTICAL CURB**

Radius	Min. length
22"	21'
24"	28'
26"	35'
36"	42'
41"	49'
50"	56'
57"	60'
over 60"	70'



**SAMPLE GUARDRAIL INSTALLATION LAYOUT**

Owner :  
988 DOVER ROAD NH REAL ESTATE, LLC  
1988 DOVER ROAD  
EPSOM, NH 03234

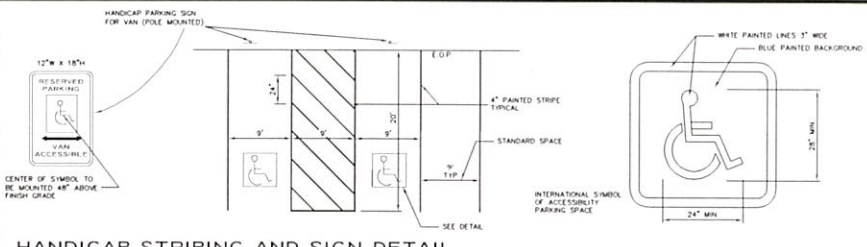
CONSTRUCTION DETAILS  
PROPOSED OFFICE AND CAMPER SALES FACILITY  
TAX MAP U6 LOT 18  
DOVER ROAD  
EPSOM, NEW HAMPSHIRE

**REVISIONS**

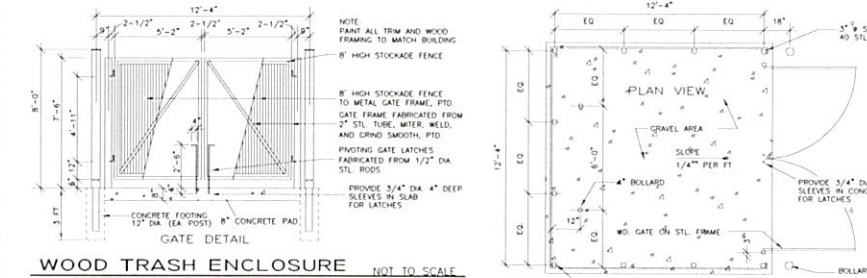
DATE	DESCRIPTION	DWN BY	CHK BY
04/28/21	INDICES Agt COMMENT	BT	JR
05/21/21	INDICES Agt COMMENT	BT	JR

**Rokeh Consulting, LLC**  
89 KING ROAD, CHICHESTER, NH  
PH: 603-387-8688

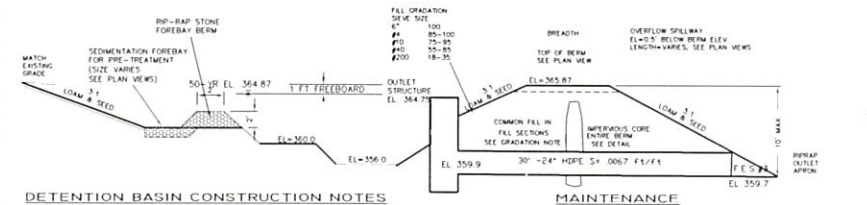
SCALE: NTS  
DATE: JANUARY 12, 2021  
DR BY: JR OK BY: JR  
JOB NO: \_\_\_\_\_  
SHEET NO: 7 OF 10



**HANDICAP STRIPING AND SIGN DETAIL**  
NOT TO SCALE

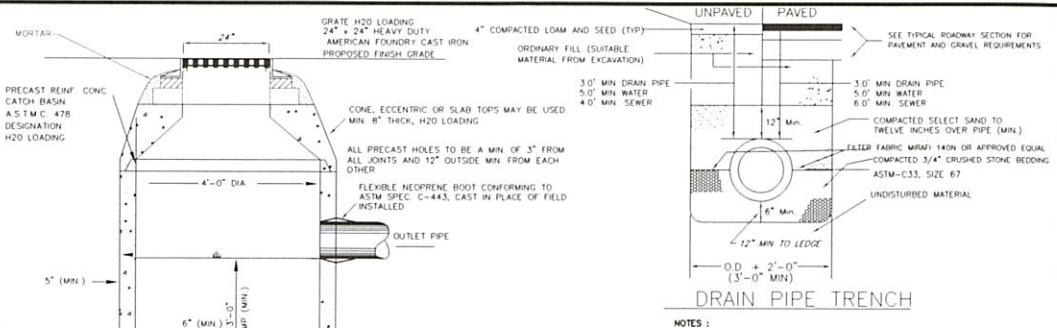


**WOOD TRASH ENCLOSURE**  
NOT TO SCALE



- DETENTION BASIN CONSTRUCTION NOTES**
- THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOWLDERS, SOIL AND RUBBER SURFACE BEFORE PLACING FILL. THE AREA SHALL BE MOIST FOR GOOD BONDING OF THE NEW FILL. KEEP STANDING WATER FROM FORMING ON OR NEAR THE FILL AREA.
  - THE FILL SHALL BE FREE OF DEPENDENT AMOUNTS OF SOIL, ROOTS, FROZEN SOIL, STONES LARGER THAN 8 INCHES AND OTHER OBJECTIONABLE MATERIAL. CRUSHED GRAVEL (3/4") SHALL BE PLACED AROUND PIPES AND CONCRETE STRUCTURES.
  - THE PLACING AND SPREADING OF FILL SHALL BE STARTED AT THE LOWEST POINT IN THE BEAM AREA AND BROUGHT UP IN HORIZONTAL LAYERS (LIFTS) OF ABOUT 12" SO THAT REQUIRED COMPACTION CAN BE OBTAINED. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, ROOTS, STRAINS OR LAYERS OF MATERIAL OFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL.
  - THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION.
  - CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER AREAS OR EACH LAYER OF FILL TO INSURE REQUIRED COMPACTION. USE SPECIAL EQUIPMENT IF NECESSARY. FILL ADJACENT TO PIPES AND STRUCTURES SHALL BE COMPACTED BY HAND TAMING OR PLATE VIBRATOR. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL CONCRETE HAS CURED STRONG ENOUGH TO SUPPORT THE LOAD.
  - FOR PROTECTION ALL EXPOSED AND DISTURBED SURFACES SHALL HAVE A COVER OF VEGETATION, PREFERABLY TURF AND SEED. FOLLOW SEEDING SPECIFICATIONS AND GENERAL NOTES IN THE EROSION CONTROL DETAILS SECTION IN THIS PLANSET.
- MAINTENANCE**
- MAINTENANCE IS NECESSARY IF THE BASIN IS TO CONTINUE TO FUNCTION AS DESIGNED. THE LANDOWNER MUST BE AWARE OF THE REQUIREMENTS FOR A PROPERLY OPERATIONAL BASIN AND A PLAN BE DEVELOPED FOR REGULAR SCHEDULED MAINTENANCE.
  - THE EMBRANKMENT SHOULD BE INSPECTED TO DETERMINE IF RODENT BURROWS, WET AREAS OR EROSION OF THE FILL IS TAKING PLACE.
  - THE VEGETATION SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRADING, TRAFFIC AND DENSE WILD GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
  - PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
  - PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE, THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
  - SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACHED THE PRE-DETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.

**DETENTION BASIN DETAIL - WET DETENTION - POND 1**  
NOT TO SCALE



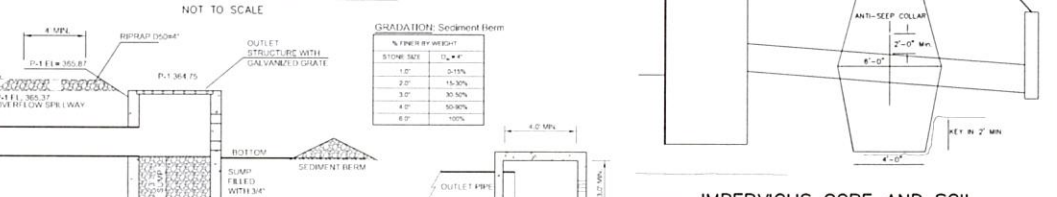
**TYPICAL PRECAST OUTLET STRUCTURE & CATCH BASIN DETAIL**  
NOT TO SCALE

NEW ENGLAND PLANTS, INC.  
NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION PONDS  
AND BRUSH SILES

INTEGRA WEDGERS	FACTORY
LENOX BRUSH SILES	FACTORY
SCHLAFER REPAIR	FACTORY
PERKINS BRUSH SILES	FACTORY
ANCO PROTECTANT	FACTORY
PANICUM VIBRATUM	FACTORY
VERNONIA VIBRATUM	FACTORY
ACROSTICHUM PERENNANS	FACTORY
BEHNKE PERENNANS	FACTORY
EURODIUM MASSILLIUM (EURODIUM MACULATUM) SPOTTED ICE PINE WOOD	FACTORY
EURODIUM PERENNANS	FACTORY
ASTER NOVIA ANGLICUM (SPERMATOPHYTES) ANGUS NEW ENGLAND ASTER	FACTORY
SCHLAFER BRUSH SILES	FACTORY

NEW ENGLAND PLANTS, INC.  
NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION PONDS AND BRUSH SILES

STAINLESS STEEL CLIP & 3/8" DIA. CONCRETE ANCHOR (TYP. 6 PLACES)



- DETENTION POND SEED MIX**  
NOT TO SCALE
- OUTLET STRUCTURE**  
NOT TO SCALE
- NOTES: IMPERVIOUS CORE AND SOIL**
- IMPERVIOUS CORE AND POND LAYER SOIL SAMPLES AND SOIL ANALYSIS TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION. IMPERVIOUS SOILS TO MEET THE FOLLOWING CRITERIA:  
SOIL SHALL HAVE NO ORGANIC MATTER OR FROZEN MATERIAL AND NO STONES LARGER THAN 2 1/2" OF THE MAXIMUM LIFT SIZE. STONES AROUND ANY STRUCTURES AND/OR CONCRETS SHALL NOT EXCEED 3" IN DIAMETER. FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:  

SIEVE SIZE	% PASSING
#5	100
#10	100
#20	100
#40	100
  - THE CONTRACTOR SHALL USE CARE NOT TO OVER EXCAVATE AND DISTURB THE EXISTING SOIL AT THE BEAM AND OUTLET PIPE AREAS.
  - IMPERVIOUS SOIL SHALL BE INSTALLED WITHIN THE LIMITS SHOWN ALONG THE BEAM AREA. THE SOIL SHALL BE KEPT 12" INTO THE BOTTOM OF THE POND AND SHALL BE PLACED IN LIFTS NOT EXCEEDING 6" AND COMPACTED TO A MINIMUM USE OF THE NET HEIGHT AS DETERMINED BY MOIST TESTING (ASTM 1587).
  - AT THE IMPERVIOUS DAM AREA, THE DAM SHALL BE KEPT INTO BOTTOM AND SIDES OF THE TRENCH A MINIMUM OF 2'. THE IMPERVIOUS SOIL SHALL BE PLACED IN LIFTS NOT EXCEEDING 6" AND COMPACTED TO A MINIMUM USE OF THE NET HEIGHT AS DETERMINED BY MOIST TESTING (ASTM 1587).

Owner:  
988 DOVER ROAD NH REAL ESTATE, LLC  
1988 DOVER ROAD  
EPSOM, NH 03234

DATE	DESCRIPTION	OWN BY	CK BY
04/28/21	NIDES Aot COMMENT	BT	JR
05/21/21	NIDES Aot COMMENT	BT	JR
8/31/21	EDIT: PER FISH AND GAME	BT	JR

CONSTRUCTION DETAILS  
PROPOSED OFFICE AND CAMPER SALES FACILITY  
TAX MAP U6 LOT 18  
DOVER ROAD  
EPSOM, NEW HAMPSHIRE

**Rokeh Consulting, LLC**  
89 KING ROAD, CHICHESTER, NH  
PH: 603-387-8688

SCALE: NTS  
DATE: JANUARY 12, 2021  
DR BY: JR CK BY: JR  
JOB NO: \_\_\_\_\_  
SHEET NO: 8 OF 10







## Northern Black Racer

(New Hampshire state threatened species)



- Solid black with a white throat and chin
- Slender with glossy scales, 3-6 ft. long
- Hatchlings are very small and patterned

Immediately report sightings to NH Fish and Game

Melissa Doperalski (603-479-1129) or

Brendan Clifford (603-944-0885)

Please report promptly, noting specific location and date  
Photographs strongly encouraged



## PLEASE REPORT RARE TURTLES

The NH Fish & Game Department is requesting observations of three turtle species that could be encountered onsite.

Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Doperalski 603-479-1129 (cell) anytime. Please report promptly, noting specific location and date - Photographs strongly encouraged



### Blanding's turtle (state endangered)

- Large, dark/black domed shell with lighter speckles
- Distinct yellow throat/chin
- Aquatic but often moves on land



### Wood turtle (special concern)

- Sculpted, pyramidal brownish shell
- Orange around neck and limbs
- River/stream turtle spending many months on land



### Spotted turtle (state threatened)

- Small, mostly aquatic with black or dark brown with yellow spots.
- Fairly flat shell compared to Blanding's turtle

## NEW HAMPSHIRE FISH AND GAME NOTES :

### NEW HAMPSHIRE FISH AND GAME AOT PERMIT CONDITIONS RELATED TO THREATENED AND ENDANGERED SPECIES:

- THERE IS THE POTENTIAL FOR BLANDING'S TURTLES (STATE ENDANGERED) AND SPOTTED TURTLES (STATE-THREATENED) AND NORTHERN BLACK RACER (SNAKE, STATE-THREATENED) TO BE FOUND WITHIN THE PROJECT AREA. SITE OPERATORS SHALL BE PROVIDED FLUERS FOR SPECIES IDENTIFICATION AND NHFG CONTACT INFORMATION SHOULD ONE OF THESE SPECIES BE OBSERVED WITHIN THE PROJECT AREA. SEE SITE PLAN "OFFICE AND CAMPER SITE FACILITY" TAX MAP U6 LOT 18 EPSOM NH. FOR SPECIES AND NHFG CONTACT INFORMATION. *FLUERS ATTACHED TO SHEET 10A*
- ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, EXCEPT FOR SILT FENCE INSTALLED IN ACCORDANCE WITH ENV WQ 1506.04, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN WEAVED PLASTIC, PLASTIC, OR MULTI ELEMENT OR MONOLAYERED POLYPROPYLENE NETTING OR MESH. SEE PLAN SHEET(S) 7.10 FOR SPECS.
- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT [nhfgreview@wildlife.nh.gov](mailto:nhfgreview@wildlife.nh.gov) -MAIL TO [nhfgreview@wildlife.nh.gov](mailto:nhfgreview@wildlife.nh.gov). EMAIL SUBJECT LINE: "NH20-3452, OFFICE AND CAMPER SITE FACILITY, WILDLIFE SPECIES OBSERVATION. PHOTOGRAPHS SHALL BE PROVIDED FOR VERIFICATION AS FEASIBLE.
- THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

Owner :

988 DOVER ROAD NH REAL ESTATE, LLC  
1988 DOVER ROAD  
EPSOM, NH 03234

ENDANGERED SPECIES  
PROPOSED OFFICE AND CAMPER SALES FACILITY  
TAX MAP U6 LOT 18  
DOVER ROAD  
EPSOM, NEW HAMPSHIRE

### REVISIONS

DATE	DESCRIPTION	OWN BY	CHK BY
8/3/21	EDIS PER FISH AND GAME	BT	JR

Rokeh Consulting, LLC  
89 KING ROAD, CHICHESTER, NH  
PH: 603-387-8688

SCALE: NTS  
DATE: JANUARY 12, 2021  
DR BY: JR CK BY: JR  
JOB NO: -----  
SHEET NO: 10A OF 10